

**6.2.2 Low-medium density residential zone code**



**Photograph 6.2.2-1**  
Example of townhouses at Hope Island.

**6.2.2.1 Application**

This code applies to assessing all development in the **Low-medium density residential zone**.

When using this code, reference should be made to **Section 5.3.2** and, where applicable, **Section 5.3.3**, in **Part 5**.

**6.2.2.2 Purpose**

(1) The purpose of the Low-medium density residential zone code is to provide for:

- (a) a range of low-medium density residential activities, in a variety of architectural forms, supported by community uses and small-scale services that serve local residents' daily needs;
- (b) urban consolidation, through innovative housing typologies, to support the efficient use of land, encourage housing diversity and to maximise the use of physical and social infrastructure; and
- (c) well-designed, walkable neighbourhoods with buildings that reinforce a distinctive subtropical character and positively respond to its urban context.

**Editor's note: The purpose statement for the zone has been changed in accordance with Section 6(3) of the Planning Regulation 2017. The changed purpose statement took effect on INSERT DATE.**

(2) The purpose of the code will be achieved through the following overall outcomes:

- (a) **Land uses:**
  - (i) in this zone provides for housing choice, diversity and options for all stages of life by accommodating a range of residential activities such as Dwelling houses, Dual occupancies, Multiple dwellings, Rooming accommodation, Residential care facilities and Retirement facilities;
  - (ii) provides for a generous mix of housing form, sizes and affordability outcomes that meet housing needs (including housing needs of the future) for the locality;
  - (iii) include neighbourhood centres and stand-alone small scale non-residential development consistent with the Strategic framework;

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- (iv) which carry higher potential for impacts on amenity such as Childcare centres, Health care services, Food and drink outlets, Shops (other than a supermarket), Veterinary services, Community care centres, Community uses, Emergency services, Educational establishments, and Places of worship may be considered if appropriately designed and located and do not adversely impact on the residential amenity of the area;
- (v) involving tourist-related development such as Short-term accommodation and Tourist parks but not Party houses may be considered where they can be supported by City services and do not compromise the amenity or character of the zone and local area; and
- (vi) do not detract from the residential amenity of the area.



**Figure 6.2.2-1**  
Illustration showing housing typologies expected within the Low-medium density residential zone

- (b) Amenity:
- (i) reasonably expected in a low-medium density, mostly permanent residential environment, is achieved, having regard to:
    - (A) the qualities of the locality;
    - (B) built form and scale;
    - (C) noise, privacy, safety, glare, odour and light; and
    - (D) traffic, parking, servicing and hours of operation.
- (c) The built form and scale of development:
- (i) has a building and structure height that does not exceed the height shown on the Building height overlay map;
  - (ii) does not exceed a Partial third storey where identified on the Building height overlay map as having a building height of 9 metres;
  - (iii) positively contributes to its urban context, by:
    - (A) supporting achievement of planned character;
    - (B) being designed to complement important local character elements;
    - (C) responding to important local features and public views to or from heritage places, landmarks, natural assets and significant public open spaces;
    - (D) orientating to address the streetscape and support climatically responsive design; and
    - (E) responding to site conditions and other contextual matters.
  - (iv) is responsive to the size of the lot, site characteristics and neighbouring buildings (existing and approved), ensuring reasonable amenity and privacy;
  - (v) has a site cover that is consistent with the planned character of the locality, does not present an appearance of bulk, is balanced between the built form and landscaping (including provision for shade trees and deep planting), encourages outdoor living and provides adequate space for services and utilities;
  - (vi) is setback from road frontages to create an attractive and engaging interface with the street, allow for the integration of landscaping (including provision for shade trees and deep planting) and built form, and allow for off-street car-parking, whilst minimising the dominance of car parking and servicing areas;

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(vii) is setback from side boundaries to protect the reasonable amenity and privacy of adjoining residences, provide areas for landscaping (including provision for shade trees and deep planting), provide separation between buildings, ensure adequate access to natural light and natural ventilation and allow access around the building;

(viii) is setback from rear boundaries to protect the reasonable amenity and privacy of adjoining residences and provide areas for outdoor recreation, landscaping (including provision for shade trees and deep planting), whilst ensuring adequate access to natural light and natural ventilation;

(ix) supports compact and slender building forms (controlled through width, bulk and scale) and building separation to achieve a perception of spaciousness between buildings and to allow for natural light penetration and natural ventilation;

(x) achieves building separation and setbacks that increase in proportion to building height;

(xi) has setbacks that do not restrict the ability of surrounding sites to develop in accordance with City Plan;

(xii) includes freestanding garages and carports, designed to positively contribute to the surrounding streetscape;

(xiii) positively contributes to the immediate streetscape and pedestrian environment with highly articulated building facades, well defined entrances and clearly defined street edges to enhance legibility;

(xiv) is designed to be climatically responsive; and;

(xv) provides on-site landscaping that softens the appearance of the built form to adjoining sites and reinforces a green streetscape and incorporates deep planting areas for the protection or establishment of shade trees.

**Note:** The designated height on the Building height overlay map may not be achievable when taking into consideration outcomes, such as, but not limited to, aviation restrictions, setbacks and site cover.

**Note:** Where a site cannot demonstrate an appropriate built form and scale that achieves the overall outcomes, amalgamation of adjoining sites is the Council's preferred response.

(d) Housing is provided at a density that is appropriate for the zone and each particular locality it is in, having regard to the following:

(i) the degree of public transport service within a 400 metre walking distance, being the most desirable distance for pedestrian access, and the ease and safety of pedestrian access to that service;

(ii) proximity to major employment concentrations, centres, social and community infrastructure facilities and important amenity features, including the coast, recreational waterways and parkland;

(iii) adequate available infrastructure capacity to support the development density, including water, sewer, stormwater, transport, social and community facilities; and

(iv) not adversely impacting on the continued operation, viability and maintenance of existing infrastructure or compromising the provision of planned infrastructure.

(e) Lot design supports a mix and variety of lot sizes of an appropriate dimension and arrangement to support the range of residential activities envisaged in this zone.

### 6.2.2.3 Specific benchmarks for assessment

**Part A** applies to accepted development subject to requirements.

**Part B** applies to assessable development.

## PART A – ACCEPTED DEVELOPMENT SUBJECT TO REQUIREMENTS

**Table 6.2.2-1: Low-medium density residential zone code – for accepted development subject to requirements**

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**Required outcomes**

<b>Setback</b>	<p><b>RO1</b> Minimum setbacks are in accordance with <a href="#">Table 6.2.2-3: Acceptable setback and site cover outcomes</a>.</p> <p>OR</p> <p>Dwelling houses on rear lots are setback 3m from all boundaries.</p>
<b>Site cover</b>	<p><b>RO2</b> Site cover does not exceed the maximum specified in <a href="#">Table 6.2.2-3: Acceptable setback and site cover outcomes</a>.</p> <p>OR</p> <p>Dwelling houses on rear lots do not exceed a site cover of 50%.</p>
<b>Height</b>	<p><b>RO3</b> Building and structure height does not exceed the building height shown on the <a href="#">Building height overlay map</a>.</p> <p><b>RO4</b> Freestanding garages and carports do not exceed a height of 3.5m.</p>
<b>Density</b>	<p><b>RO5</b> For Dwelling houses density is one Dwelling house per lot.</p> <p>OR</p> <p>Density does not exceed that shown on the <a href="#">Residential density overlay map</a>.</p> <p>OR</p> <p>Where not identified on the overlay map, density does not exceed one dwelling per 400m<sup>2</sup>.</p>

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**Advisory note**

Accepted development identified in the assessment tables as subject to requirements must comply with all the nominated requirements in this and other applicable codes.

**PART B – ASSESSABLE DEVELOPMENT BENCHMARKS**

**Table 6.2.2-2: Low-medium density residential zone code – for assessable development**

<b>Performance outcomes</b>	<b>Acceptable outcomes</b>
<b>Land uses</b>	
<p><b>PO1</b> Non-residential uses: (a) are small scale and stand-alone (other than community uses and neighbourhood centres); (b) serve a local community need only; (c) are of a scale that complements the planned character of the area; (d) do not undermine the viability of a nearby centre or the mixed use centre hierarchy; (e) are located on a corner lot or lot(s) fronting a high order road; and (f) if located within a mixed use development, are located on the ground floor and orientate towards the street frontage.</p>	<p><b>AO1</b> No acceptable outcome provided.</p>
<p><b>Amenity</b></p> <p><b>PO2</b> Development achieves a level of amenity reasonably expected in a low-medium density, mostly permanent residential environment, having regard to:</p>	<p><b>AO2</b> No acceptable outcome provided.</p>

<u>Performance outcomes</u>	<u>Acceptable outcomes</u>
<p>(a) <u>the qualities of the locality;</u>            (b) <u>built form and scale;</u>            (c) <u>noise, privacy, safety, glare, odour and light; and</u>            (d) <u>traffic, parking, servicing and hours of operation.</u></p>	
<b>Built form and scale</b>	
<p><b>PO3</b>  <u>Building and structure height does not exceed the building height shown on the <b>Building height overlay map.</b></u>  <b>AND</b>  <u>Where identified as having a 9 metre building height on the <b>Building height overlay map,</b> development does not exceed a Partial third storey.</u></p>	<p><b>AO3</b>  <u>No acceptable outcome provided.</u></p>
<p><b>PO4</b>  <u>Freestanding garages and carports present to the street as very low rise.</u></p>	<p><b>AO4</b>  <u>Freestanding garages and carports do not exceed a height of 3.5m.</u></p>
<p><b>PO5</b>  <u>Where not identified within the Light rail urban renewal area overlay map, buildings and structures are sited and designed to:</u>            (a) <u>be setback from boundaries and have a site cover that is balanced between built form and high quality landscaping to allow for shade trees, deep planting and on-site open space which positively contributes to residential amenity and local character;</u>            (b) <u>achieve building separation and setbacks that increase in proportion to building height and achieve a perception of spaciousness between buildings;</u>            (c) <u>have a width, bulk and scale proportionate to the site;</u>            (d) <u>maximise access to natural ventilation;</u>            (e) <u>allow natural light to penetrate into buildings, between buildings and down to the ground;</u>            (f) <u>allow for off-street car parking;</u>            (g) <u>not cause unreasonable amenity impacts on adjoining properties;</u>            (h) <u>provide reasonable privacy to residents on adjoining properties; and</u>            (i) <u>not restrict the ability of surrounding sites to be developed in accordance with City Plan.</u>  <b>Note:</b> <u>The preparation of a Site context and urban design report in accordance with SC6.12 City Plan policy – Site context and urban design is the Council's preferred method of addressing this performance outcome.</u></p>	<p><b>AO5</b>  <u>Development provides minimum front, side and rear setbacks and maximum site cover in accordance with <b>Table 6.2.2-3: Acceptable setback and site cover outcomes.</b></u>  <b>OR</b>  <u>Dwelling houses on rear lots are setback 3m from all boundaries and do not exceed a site cover of 50%.</u></p>
<p><b>PO6</b>  <u>Development positively contributes to its urban context where built form:</u>            (a) <u>supports achievement of planned character;</u>            (b) <u>is designed to complement important local character elements;</u>            (c) <u>is responsive to important local features and public views, including maintaining views or vistas to or from heritage places, landmarks, natural assets and significant public open spaces;</u>            (d) <u>is orientated to address the streetscape and support climatically responsive design; and</u>            (e) <u>is responsive to site conditions (e.g. slope and overlay</u></p>	<p><b>AO6</b>  <u>No acceptable outcome provided.</u></p>

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<u>Performance outcomes</u>	<u>Acceptable outcomes</u>
<p><u>constraints) and other contextual matters (e.g. infrastructure connections and appropriately responding to adjoining property).</u></p> <p><u>Note: The preparation of a Site context and urban design report in accordance with SC6.12 City Plan policy – Site context and urban design is the Council's preferred method of addressing this performance outcome.</u></p> <p><u>Note: The term 'planned character' refers to the City Plan's vision for a particular site or area and is determined by identifying the range of development outcomes that would be generally in accordance with the applicable City Plan provisions.</u></p>	
<p><b>PO7</b> Development: (a) <u>avoids the appearance of continuous blank walls longer than 20 metres;</u> (b) <u>utilises building proportions, articulation and the modulation of building elements to breakdown the bulk;</u> (c) <u>provides an engaging and human scale built form; and</u> (d) <u>avoids building lengths greater than 50 metres.</u></p>	<p><b>AO7</b> <u>No acceptable outcome provided.</u></p>
<p><b>Subtropical design</b></p> <p><b>PO8</b> Development is designed to <u>incorporate climatically responsive design elements to support the city's subtropical design character and sustainable subtropical living.</u></p>	<p><b>AO8</b> <u>No acceptable outcome provided.</u></p>
<p><b>PO9</b> Development provides high quality landscaping to: (a) <u>provide visual relief to the built form;</u> (b) <u>provide usable spaces for outdoor activity and encourage outdoor living;</u> (c) <u>enhance privacy on the site and to adjoining dwellings;</u> (d) <u>assist in providing shade to buildings; and</u> (e) <u>reinforce a green streetscape character.</u></p>	<p><b>AO9</b> <u>No acceptable outcome provided.</u></p>
<p><b>PO10</b> Development provides landscaped areas and deep planting that: (a) <u>has an area proportionate to the site area to support mature tree growth;</u> (b) <u>softens the impact of buildings and hardstand areas and reinforces a green streetscape;</u> (c) <u>incorporates canopy trees and vegetation within sufficiently sized deep planting areas which are open to the sky;</u> (d) <u>provides natural shade; and</u> (e) <u>retains assessable vegetation where possible.</u> <u>Note: Where assessable vegetation is retained in situ, a reduction in deep planting area may be considered.</u></p>	<p><b>AO10.1</b> <u>Development provides landscape areas that total a minimum of 25% of the site area and include a component of deep planting that is a minimum of 12% of the site area.</u> <u>Note: Deep planting areas contribute towards landscape areas</u></p> <p><b>AO10.2</b> <u>Deep planting areas have a minimum dimension of 3m and are 100% open to the sky.</u></p>
<p><b>Density</b></p> <p><b>PO11</b> For Dwelling houses, density is one Dwelling house per lot. OR</p>	<p><b>AO11</b> <u>No acceptable outcome provided.</u></p>

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<b>Performance outcomes</b>	<b>Acceptable outcomes</b>												
<p><u>Density does not exceed that shown on the Residential density overlay map.</u></p> <p><u>OR</u></p> <p><u>Where not identified on the overlay map, density does not exceed one dwelling per 400m<sup>2</sup>.</u></p> <p><u>OR</u></p> <p><u>For Residential care facilities and Retirement facilities there is no performance outcome provided.</u></p> <p><u>OR</u></p> <p><u>For Rooming accommodation, accommodating more than four unrelated people, density does not exceed one bedroom per 133m<sup>2</sup>.</u></p>													
<b>Lot design (for subdivision only)</b>													
<p><b>PO12</b></p> <p><u>Reconfiguring a lot:</u></p> <p><u>(a) results in the creation of new lots of appropriate size, shape, dimension, arrangement and density to support the character of the zone;</u></p> <p><u>(b) create safe, functional and attractive neighbourhoods;</u></p> <p><u>(c) occurs in a manner which achieves good urban design outcomes; and</u></p> <p><u>(d) does not adversely impact on the continued operation, viability and maintenance of existing infrastructure or compromise the future provision of planned infrastructure.</u></p>	<p><b>AO12.1</b></p> <p><u>Where the site is not mapped on the Residential density overlay map the minimum lot size is 400m<sup>2</sup>.</u></p> <p><u>OR</u></p> <p><u>Where the site is mapped on the Residential density overlay map, new lots meet the following:</u></p> <table border="1"> <thead> <tr> <th><u>Residential density overlay map designation</u></th> <th><u>Minimum lot size</u></th> </tr> </thead> <tbody> <tr> <td><u>RD1</u></td> <td><u>400m<sup>2</sup></u></td> </tr> <tr> <td><u>RD2</u></td> <td><u>300m<sup>2</sup></u></td> </tr> <tr> <td><u>RD3</u></td> <td><u>250m<sup>2</sup></u></td> </tr> <tr> <td><u>RD4</u></td> <td><u>250m<sup>2</sup></u></td> </tr> <tr> <td><u>RD5</u></td> <td><u>250m<sup>2</sup></u></td> </tr> </tbody> </table> <p><u>Note: Lot sizes referenced must be determined exclusive of access strip or access easement area for rear lots.</u></p> <p><b>AO12.2</b></p> <p><u>Minimum road frontage is 12m.</u></p>	<u>Residential density overlay map designation</u>	<u>Minimum lot size</u>	<u>RD1</u>	<u>400m<sup>2</sup></u>	<u>RD2</u>	<u>300m<sup>2</sup></u>	<u>RD3</u>	<u>250m<sup>2</sup></u>	<u>RD4</u>	<u>250m<sup>2</sup></u>	<u>RD5</u>	<u>250m<sup>2</sup></u>
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<u>RD5</u>	<u>250m<sup>2</sup></u>												
<b>Lot design within the Ridges and significant hills protection overlay area (for subdivision only)</b>													
<p><b>PO13</b></p> <p><u>New lots proposed within the Ridges and significant hills protection overlay area:</u></p> <p><u>(a) support the intent of the Ridges and significant hills protection overlay code; and</u></p> <p><u>(b) address site constraints.</u></p>	<p><b>AO13.1</b></p> <p><u>The minimum lot size is 600m<sup>2</sup>.</u></p> <p><b>AO13.2</b></p> <p><u>Minimum road frontage is 17m.</u></p> <p><u>OR</u></p> <p><u>Minimum road frontage is 4.5m for a rear lot.</u></p>												
<b>Housing need and choice</b>													
<p><b>PO14</b></p> <p><u>Development provides a mix of housing sizes and affordability outcomes to meet housing needs.</u></p>	<p><b>AO14</b></p> <p><u>No acceptable outcome provided.</u></p>												

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**Table 6.2.2-3: Acceptable setback and site cover outcomes**

This table sets out the minimum front, side and rear setbacks and maximum site cover outcomes for development within the Low-medium density residential zone.

Note: Setbacks and site cover outcomes apply to the entire building where the proposed maximum building height falls within one of the development categories listed below.

Note: Where more than one building is proposed on the same site, the highest proposed building height is deemed to be the relevant building height to determine the appropriate development category.



<a href="#">Development category</a>	<a href="#">Front setback (m)</a>	<a href="#">Side setback (m)</a>	<a href="#">Rear setback (m)</a>	<a href="#">Site cover</a>	<a href="#">Setbacks between on-site habitable buildings (where not attached)</a>
<a href="#">Buildings up to 12m in height (on lots equal to or greater than 400m<sup>2</sup>)</a>	<a href="#">4.5m to wall and balcony</a>	<a href="#">For that part up to 4.5m in height:</a> • <a href="#">1.5m to wall and balcony</a>	<a href="#">4m</a>	<a href="#">50%</a>	<a href="#">Double the applicable side setback</a>
	<a href="#">For a secondary frontage of a corner lot:</a> • <a href="#">4m (not including projections up to 2m)</a>	<a href="#">For that part between 4.5m – 7.5m in height:</a> • <a href="#">2m to wall and balcony</a>			
	<a href="#">For covered car parking at grade:</a> • <a href="#">6m</a>	<a href="#">For that part exceeding 7.5m:</a> • <a href="#">an extra 0.5m for every 3m in height or part thereof over 7.5m</a>  <a href="#">0.5m reduction into the above setbacks for eaves, sun hoods and screens</a>			

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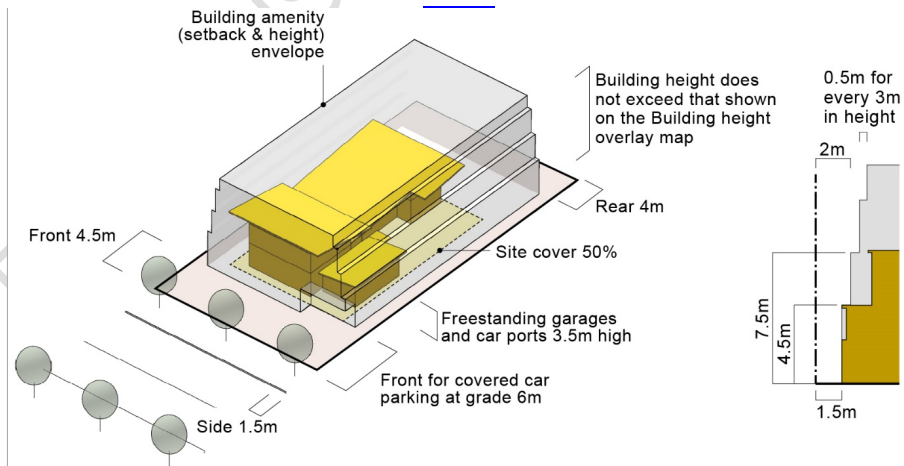
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**Figure 6.2.2-2**

[Illustration showing buildings up to 12m in height contained within building amenity envelope](#)

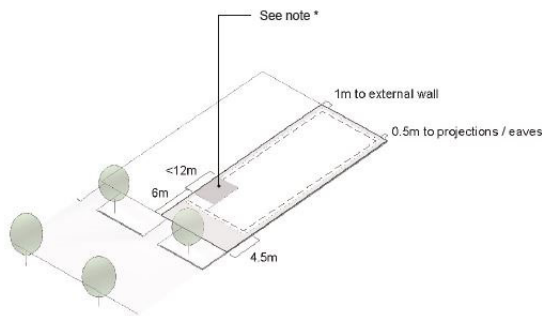


<u>Development category</u>	<u>Front setback (m)</u>	<u>Side setback (m)</u>	<u>Rear setback (m)</u>	<u>Site cover</u>	<u>Setbacks between on-site habitable buildings (where not attached)</u>
<b><u>Buildings up to 12m in height (on lots less than 400m<sup>2</sup>)</u></b>	<p>4.5m to wall and balcony</p> <p>For a secondary frontage of a corner lot:</p> <ul style="list-style-type: none"> <li>• 4m (not including projections up to 2m)</li> </ul> <p>For covered car parking at grade (not applicable to the rear lane access):</p> <ul style="list-style-type: none"> <li>• 6m and</li> <li>• 1m behind front wall or balcony</li> </ul> <p>For covered car parking on a rear lane:</p> <ul style="list-style-type: none"> <li>• Between 0.5m and 1m</li> </ul>	<p>Where up to 4.5m in height:</p> <ul style="list-style-type: none"> <li>• 1m to wall and balcony</li> <li>• 0.5m to outermost projection</li> <li>• 0m to class 10 building and/or non-habitable room where:                             <ul style="list-style-type: none"> <li>(a) located along a southern or western boundary;</li> <li>(b) a maximum length of 12m where no single part exceeds 6m in length; and</li> <li>(c) at least 1m separation from a habitable window of a neighbouring dwelling.</li> </ul> </li> </ul> <p>For that part between 4.5m – 7.5m in height:</p> <ul style="list-style-type: none"> <li>• 1.5m to wall and balcony</li> <li>• 1m to outermost projection</li> </ul> <p>For that part exceeding 7.5m:</p> <ul style="list-style-type: none"> <li>• an extra 0.5m for every 3m in height or part thereof over 7.5m</li> <li>• 0.5m reduction into the above setbacks for eaves, sun hoods and screens</li> </ul>		60%	Double the applicable side setback

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\* For Class 10 buildings and/or non-habitable rooms, 0m setback permitted - subject to design criteria

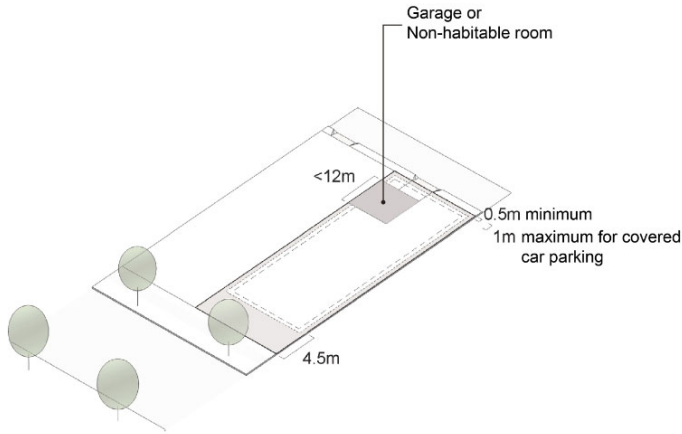
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**Figure 6.2.2-3**

Illustration showing setbacks for buildings up to 12m in height on lots less than 400m<sup>2</sup>

<a href="#">Development category</a>	<a href="#">Front setback (m)</a>	<a href="#">Side setback (m)</a>	<a href="#">Rear setback (m)</a>	<a href="#">Site cover</a>	<a href="#">Setbacks between on-site habitable buildings (where not attached)</a>
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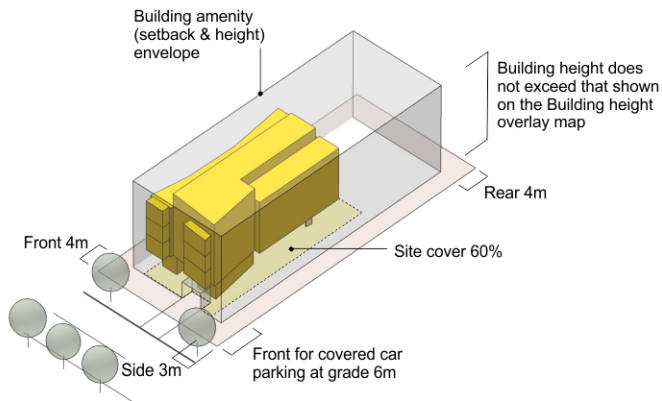
**Figure 6.2.2-4**

Illustration showing rear lane setbacks for buildings up to 12m in height on lots less than 400m<sup>2</sup>

<a href="#">Buildings greater than 12m and up to 16m in height</a>	4m For covered car parking at grade: • 6m	3m	4m	60%	Double the applicable side setback
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**Figure 6.2.2-5**

Illustration showing buildings greater than 12m and up to 16m in height contained within building amenity envelope

<a href="#">All ancillary structures up to</a>	4m	For that part up to 4.5m in height:	Applicable	NA
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<a href="#">Development category</a>	<a href="#">Front setback (m)</a>	<a href="#">Side setback (m)</a>	<a href="#">Rear setback (m)</a>	<a href="#">Site cover</a>	<a href="#">Setbacks between on-site habitable buildings (where not attached)</a>
<a href="#">9m in height; and Buildings up to 9m in height associated with communal open space</a>		<ul style="list-style-type: none"> <li>• <a href="#">1.5m</a></li> </ul>		<a href="#">development category identified in this table</a>	
		For that part between 4.5m – 7.5m in height:			
		<ul style="list-style-type: none"> <li>• <a href="#">2m</a></li> </ul>			
		For that part exceeding 7.5m:			
		<ul style="list-style-type: none"> <li>• <a href="#">2.5m</a></li> </ul>			

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FOR MINISTERIAL APPROVAL